



**Gippsland  
Water**

# **Two-lot subdivision/dwelling development**

**Water servicing guide**





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## Introduction

This guide outlines options for two-lot subdivisions and two dwelling developments on vacant land.

Individual allotments must be serviced directly by provision of separate connections where both lots are adjacent to our Gippsland Water asset (water main or pipe).

We may require an extension of our assets at the owner/developer's cost where there is a possibility of future development.

It is the owner/developer's responsibility to ensure the size of the water services and their locations are appropriate for the type of development being undertaken.

Please note the following abbreviations and key definitions apply throughout this brochure:

**BPS** - Buried property (water) service

**Meter network** – One primary meter to record total water usage and a separate secondary meter for each occupancy.

**Ferrule** - A component used to connect a service pipe to a main, usually capable of shutting off the flow of water to the service pipe.

**Internal water service** - All pipeworks upstream of the meter (owners responsibility)

**PM** - Primary meter

**SM** - Secondary meter

**Service pipe** – Section of pipe between ferrule and buried water service (Gippsland Water's responsibility)

Blue lines in the diagrams show the potential placement of buried property services.

The first step to achieve an outcome as outlined in this document is to submit a Property Services quote request form. Please refer to our website:

<https://www.gippswater.com.au/developers/property-connections/connections>

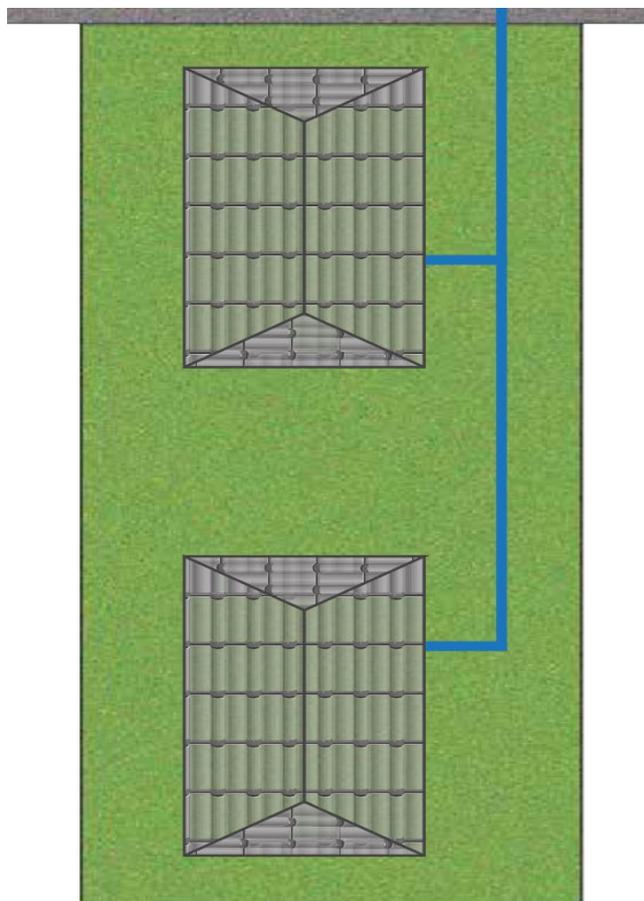
If you require further information after reading this document, please contact our Property Connections team on 03 5177 4648.

## 1. Two dwelling development on vacant land

Two options apply depending on whether each dwelling has a shared or separate driveway.

### 1A. Shared driveway – Meter network to be applied.

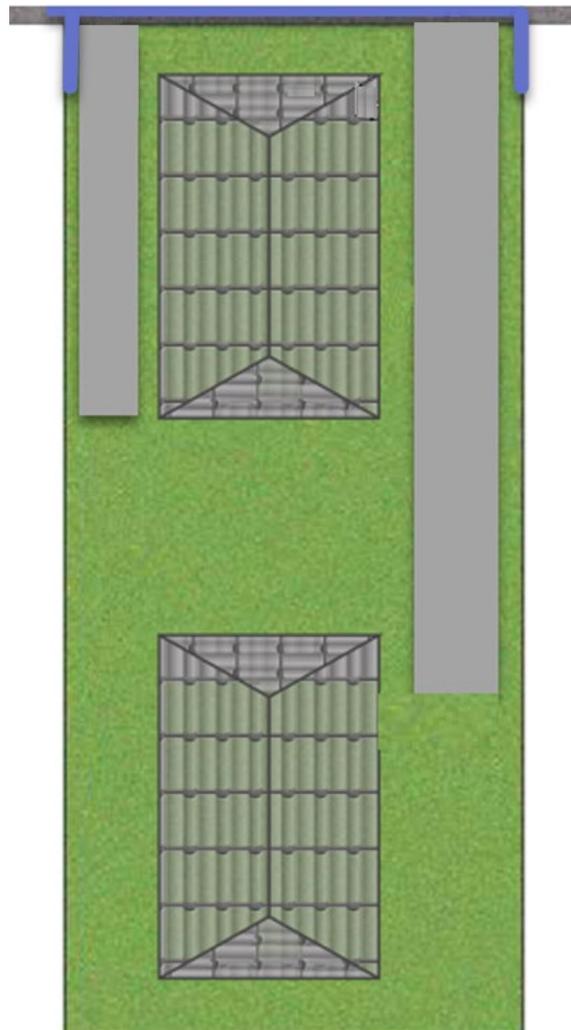
Example of a shared driveway where a meter network is to be applied:





1B. Separate driveways – Separate services to be applied.

Example of separate driveways where separate services are to be applied.



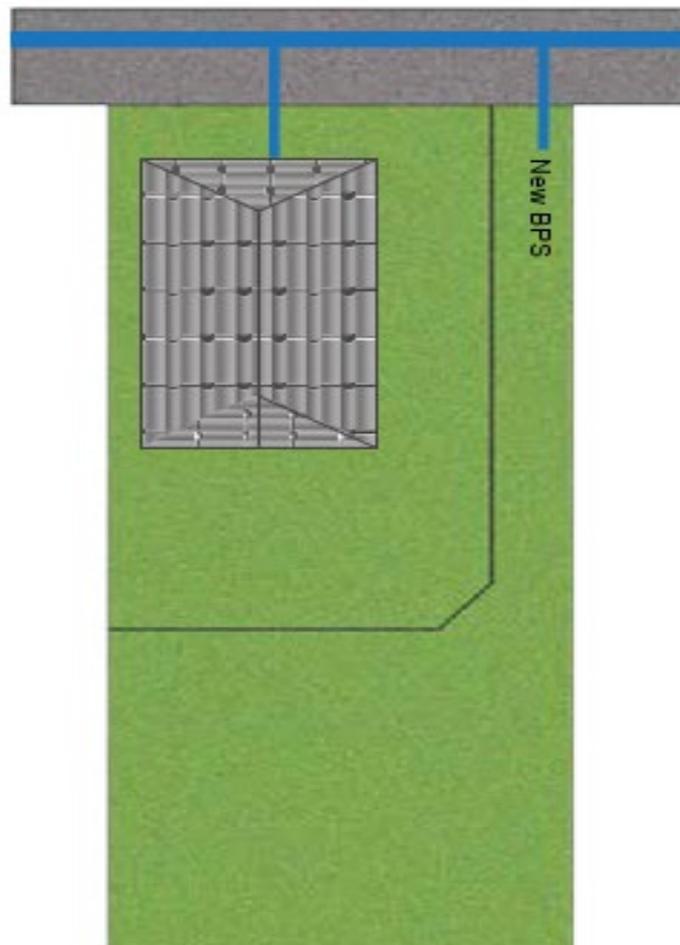
## 2. Two-lot subdivision on vacant land or an existing dwelling where the water main is adjacent to both lots

In this situation, separate water services from the main will be required to each lot. The water service will remain buried until a connection is requested. Upon connection the water service will be raised and a water meter installed.

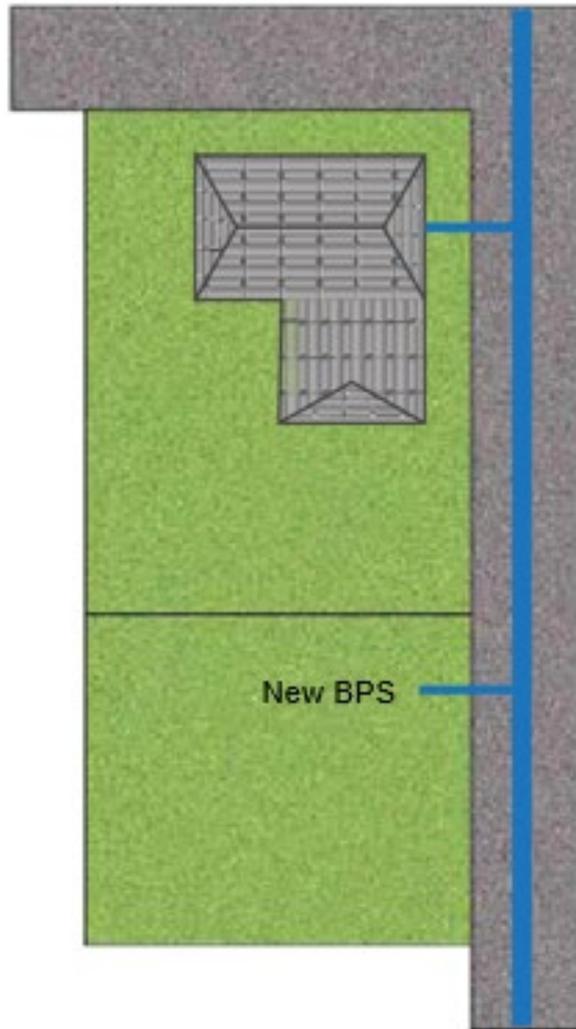
The following diagrams show three examples of water servicing each lot from a street water main.

### Example 1:

Existing dwelling, new rear lot both fronting the water main.

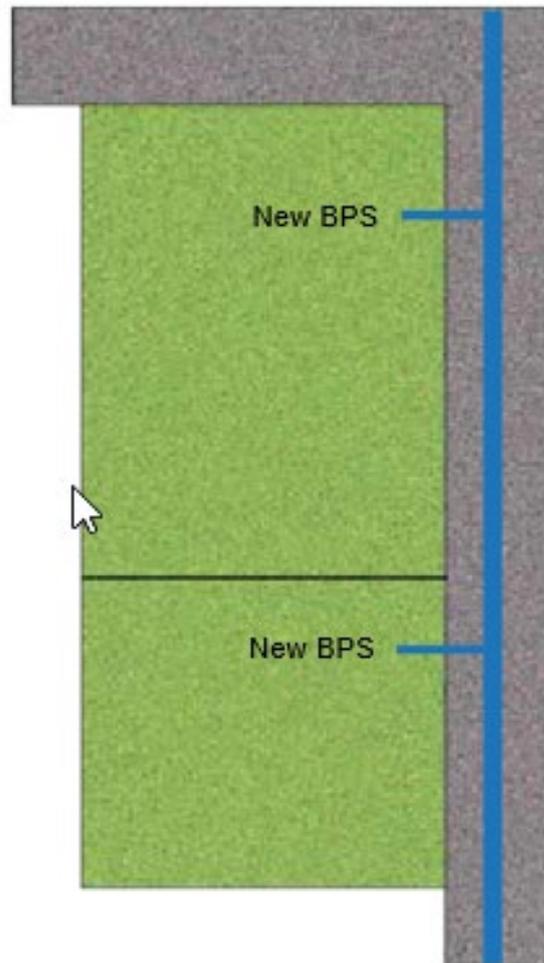


**Example 2:**  
Existing dwelling, second lot with street main access.





**Example 3:**  
Both lots vacant with street main access.





### 3. Two-lot common property subdivision

There are a number of options available in this situation:

**Option 1.**

Separate water services. Install a new BPS for the new lot and pre lay the internal water service terminating inside the boundary of the new lot.

**Option 2.**

Cap the existing service and provide a new BPS in the common property with a meter network set up.

**Option 3.**

Utilising existing services. Owner has a choice of either:

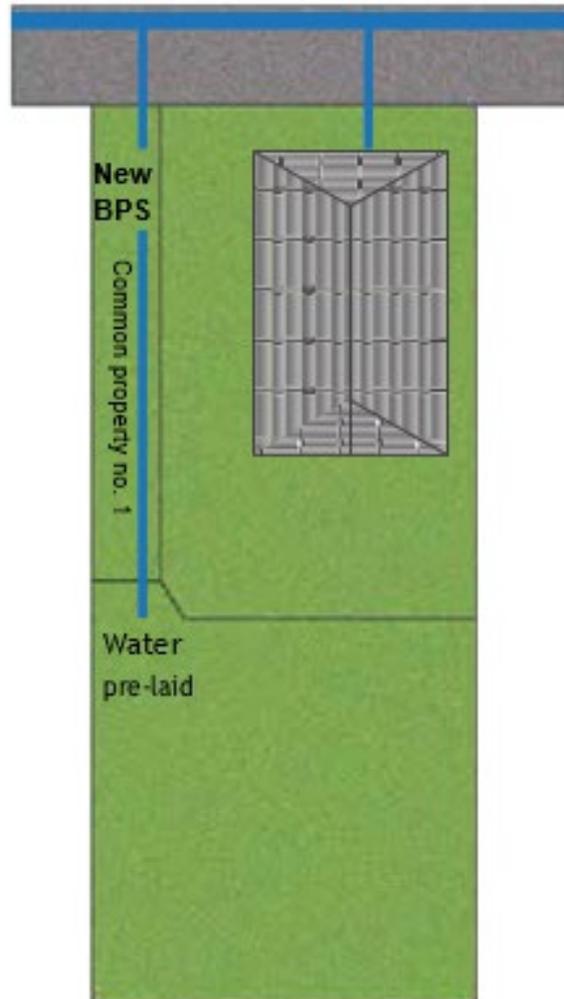
- A. Separate services
- B. Meter network setup

Note: with this option (3A and B):

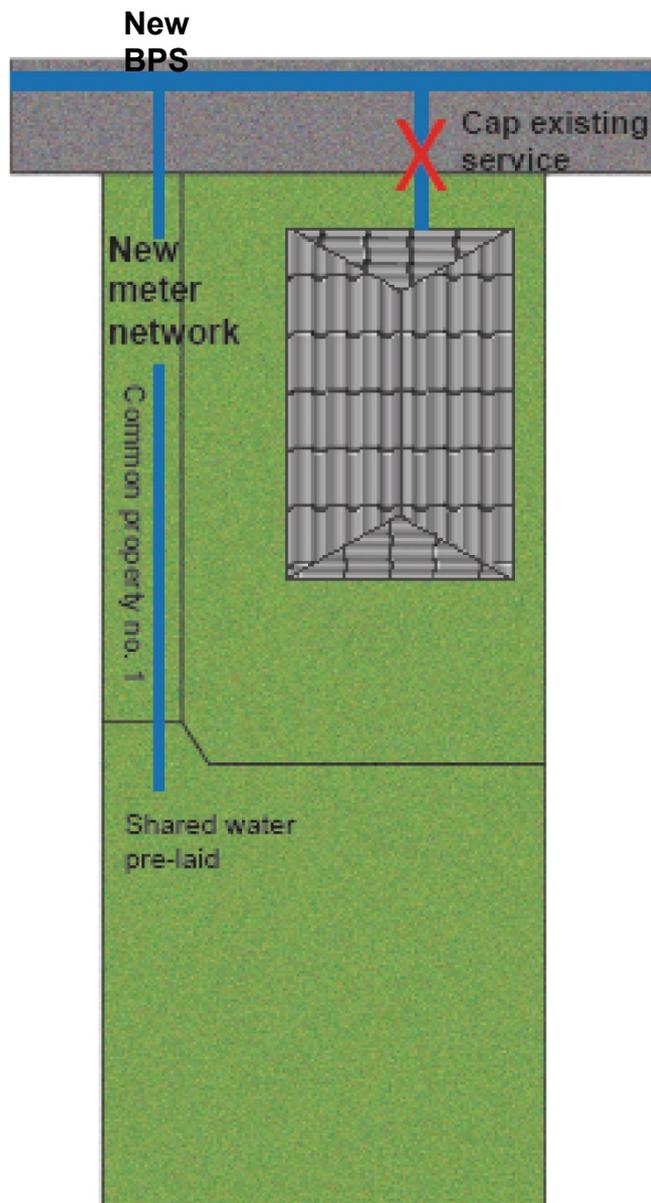
- The existing service must be located in the common property
- The ferrule needs to be clear of the driveway crossover

If the ferrule is not clear of the driveway crossover, it will need to be capped and a new tapping will be required at the owner/developers cost.

Option 1: Provide a new BPS in the common property to service the new lot and pre lay the internal water service terminating inside the boundary of the new lot.



Option 2: Cap and provide a new BPS in the Common Property with a meter network set up.



### Option 3. Utilising existing services

In this situation, the owner has a choice of either:

- A. Separate services
- B. Meter network setup

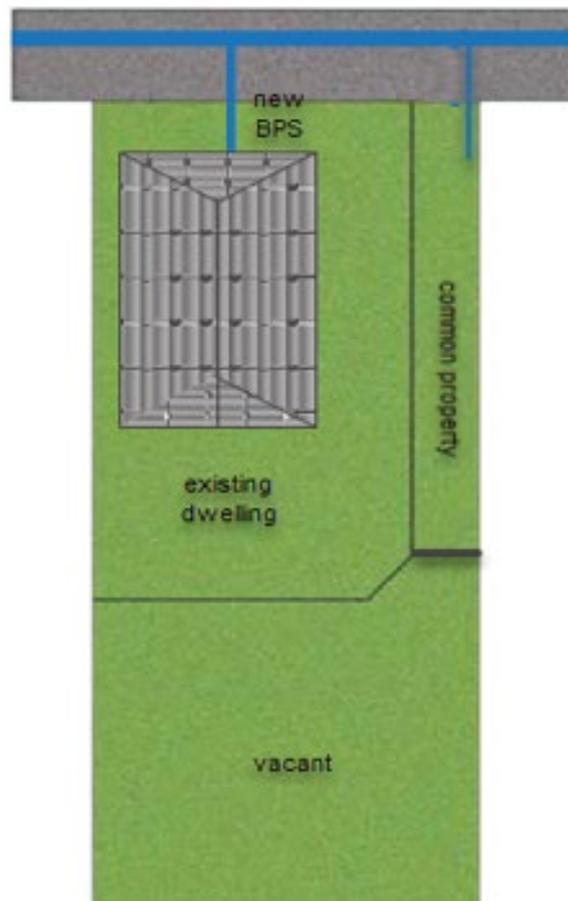
Note that with both options (A and B):

- The existing service must be located in the common property
- The ferrule needs to be clear of the driveway crossover

If the ferrule is not clear of the driveway crossover, it will need to be capped and a new tapping will be required at the owner/developers cost.

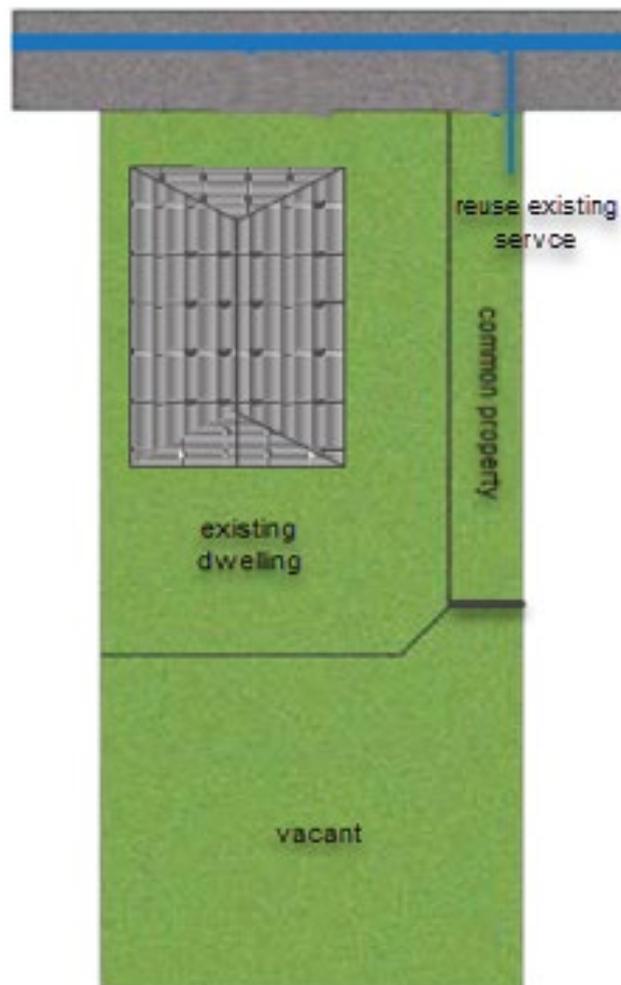
#### 3A. Separate services

Retain the existing service for the new lot. Provide a new water service for existing dwelling and transfer the meter to the new service. Owner to re-align internal water pipes.



### 3B. Meter network off existing service

Utilise the existing service for a new primary meter. A new secondary meter is required for the new lot. Utilise the existing meter as a secondary meter for the existing dwelling. The owner to realign the internal water pipes.





## **Gippsland Water**

PO Box 348  
55 Hazelwood Road  
Traralgon VIC 3844

Property connections enquiries 03 5177 4648  
General enquiries 1800 050 500  
Faults and emergencies 1800 057 057

[contactus@gippswater.com.au](mailto:contactus@gippswater.com.au)  
[www.gippswater.com.au](http://www.gippswater.com.au)

ABN 75 830 750 413